



Residence No. **2**

Safdar Ahmed Awan Residence
SHK-UC2-0222 (Enlistment No. 2012-UC2/227)
6/ 362 Kotu Tabib Lane,
&
SHK-UC2-0221 (Enlistment No. 2012-UC2/226)
6/ 342 Kotu Tabib Lane/ Dallal's Lane,
UC2, Shikarpoor, Sindh

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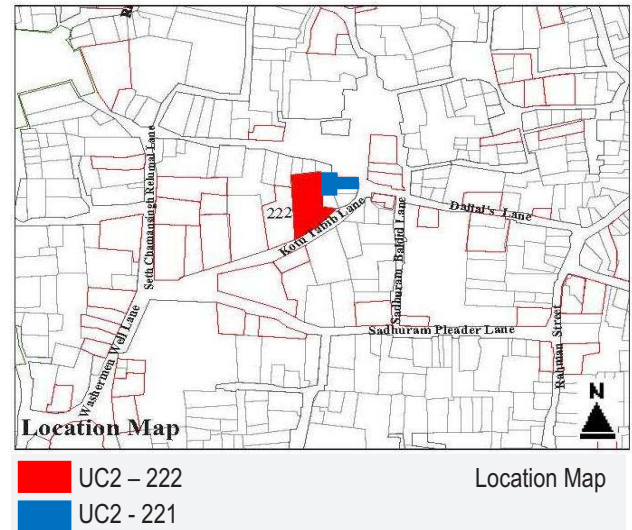
Owner's Contact Details:
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Introduction to the Property:

Safdar Awan residence is a jointly privately owned family property, located inside the historic nucleus of Shikarpoor in the area commonly known as Awan *Mohalla*. The property comprises of two separate residences having their own respective plot numbers. Both properties are enlisted heritage of Shikarpoor, notified and protected under the Sindh Cultural Heritage Preservation Act 1994; bearing enlistment numbers 2012–UC2/226 for UC2-221 and 2012–UC2/227 for UC2-222, in the records of Department of Culture, Government of Sindh.

The present extents of property under use of the resident family in accordance to the city survey map indicate more than two plots amalgamated as one entity. Particularly the two areas marked with red and blue in the map above seem to be two individual entities, as evident from their distinctly different architectural vocabulary, and perhaps got combined at some later stage in their life time (information on exact date not available). These two properties are being considered here as one entity only because of their present ownership by same family and their interconnected access only through entrance from house UC2/226. The two properties stand out as individual premises; having completely differing façades with no indication of uniformity as a single unit. Hence, each of these are described individually in detail in following section of this report.

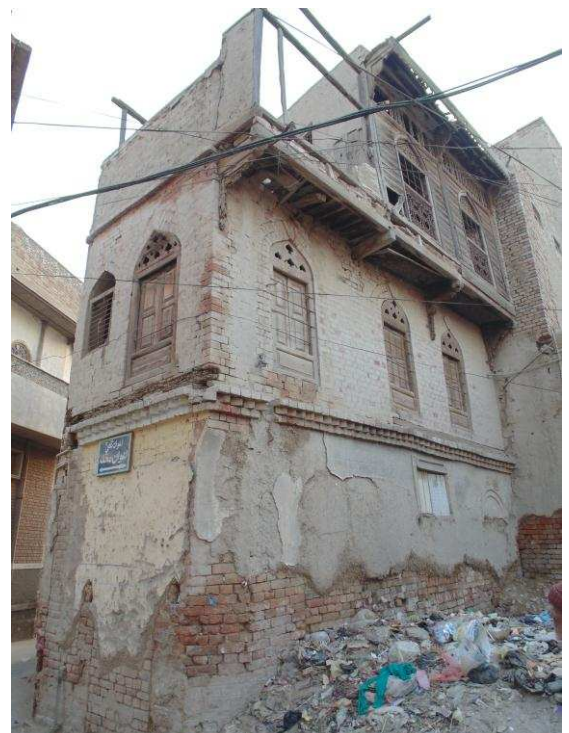


Located deep inside the walled city area of Shikarpoor the property has its only approach from Kotu Tabib Lane in Awan *Mohalla*, not accessible with any other type of transportation except for a rickshaw. The street is very narrow hence allowing very little vehicular traffic. The easiest approach to this property is from 'Wagno Gate'. Its neighborhood is purely residential having structures of high degree architectural value. The present building covers an area of approximately 4800 sq.ft. including all the plots under occupancy of the resident family.

Architectural Analysis:

UC2-221

The construction style of the building UC2- 221 is quite unique. Ground floor of the building is presently not accessible; however, the street façade does indicate traces of an earlier entrance which is now closed with masonry. The first floor of the building is connected with adjoining building which makes it difficult to identify the exact extents of this house despite knowing that it is a separate property. The wall in between the two properties is very thick which reinforces as evidence that these are two different properties. The spaces on first floor are currently used as services for the adjoining house. It includes kitchen and a toilet in front followed by a room at the back which opens up on to a small courtyard at the back. This courtyard further connects to a bedroom on one side and a shower plus toilet space at the opposite end; both of which are not in use at the present. The bedroom has another smaller room



View of property UC2-221 from the street.

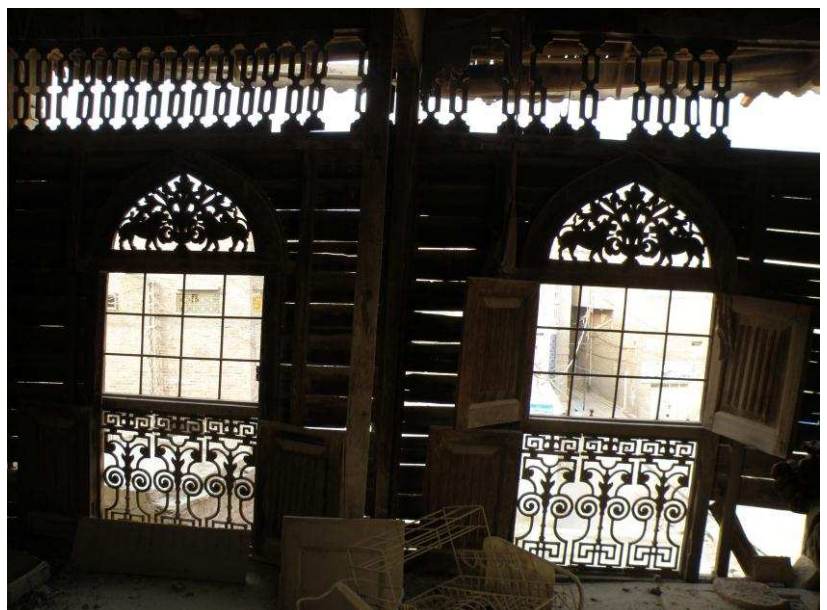
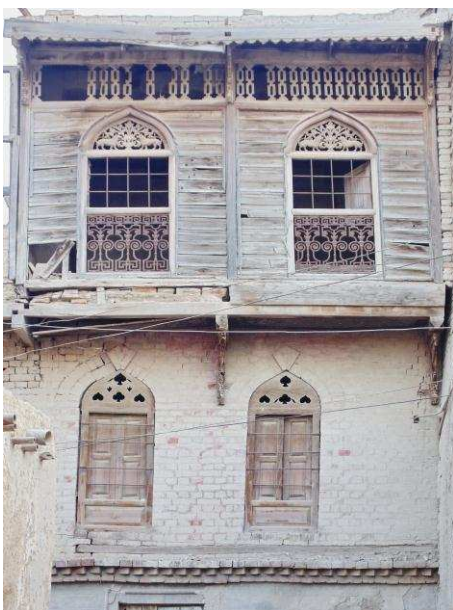
connected to it, both of which are in use of the family. The rooms are simple in design having tier and girder roofs except for the room in front. That room has part of its ceiling as wooden joists and intermediate wooden support. A concrete staircase leads up to the next level. The room at the back has beautifully carved wooden cabinets installed in its niches.

As part of original design, a formal space for kitchen is made in the big room in front but currently the space in front of the original kitchen is used for that purpose. The original kitchen space is used as storage. It further connects to the room on ground floor. There exists a former door opening which is closed permanently at the moment. The opening creates a direct link of house to the street and perhaps it was used as the main entrance of the building. The windows on first floor have pointed arch profile with inverted heart shaped design in the tympanum area.

The second floor of the building has two rooms and an open space in front. The rooms are mud plastered with wooden doors and windows. The room on northern side has one very thin wall made up of wooden planks with pointed arched windows. The tympanum areas of these pointed arch profiled window frames have unique patterns of lions facing each other. The lower part of the frame has parapet made of wrought iron floral pattern grills. This room is projected from the wall below and is supported over wooden brackets. This room is the only decorative part in this portion of the property.

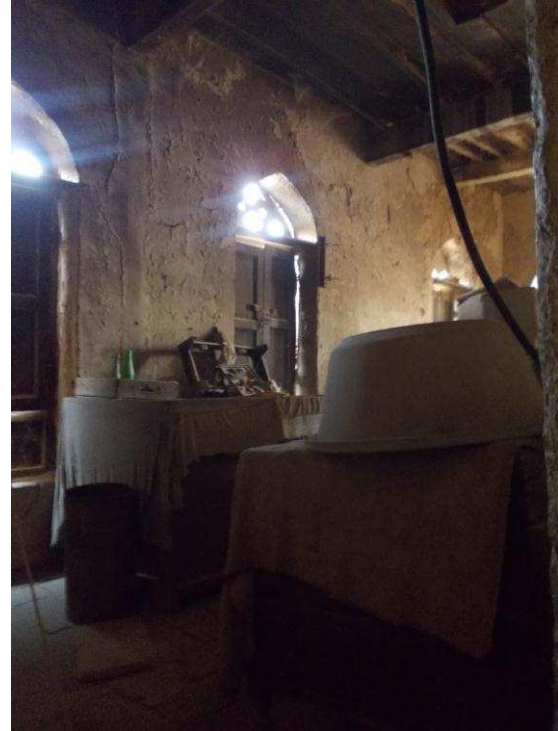


North facing façade of the two properties UC2-221 and UC2-222 together.



North facing façade of UC2-221(left). View from inside the room on second floor (right).

The room on the southern side has wooden tier and girder roof with wall cabinets in the niches. Internal surfaces are mud plastered and painted over. As both the rooms are not in use since ages, the floors are soiled with thick layer of dust. The walls have signs of rain water penetrating through window/ ventilator openings.



Staircase connecting first to second floor (left) and the original kitchen space (right).



Ceiling of the room on southern side.

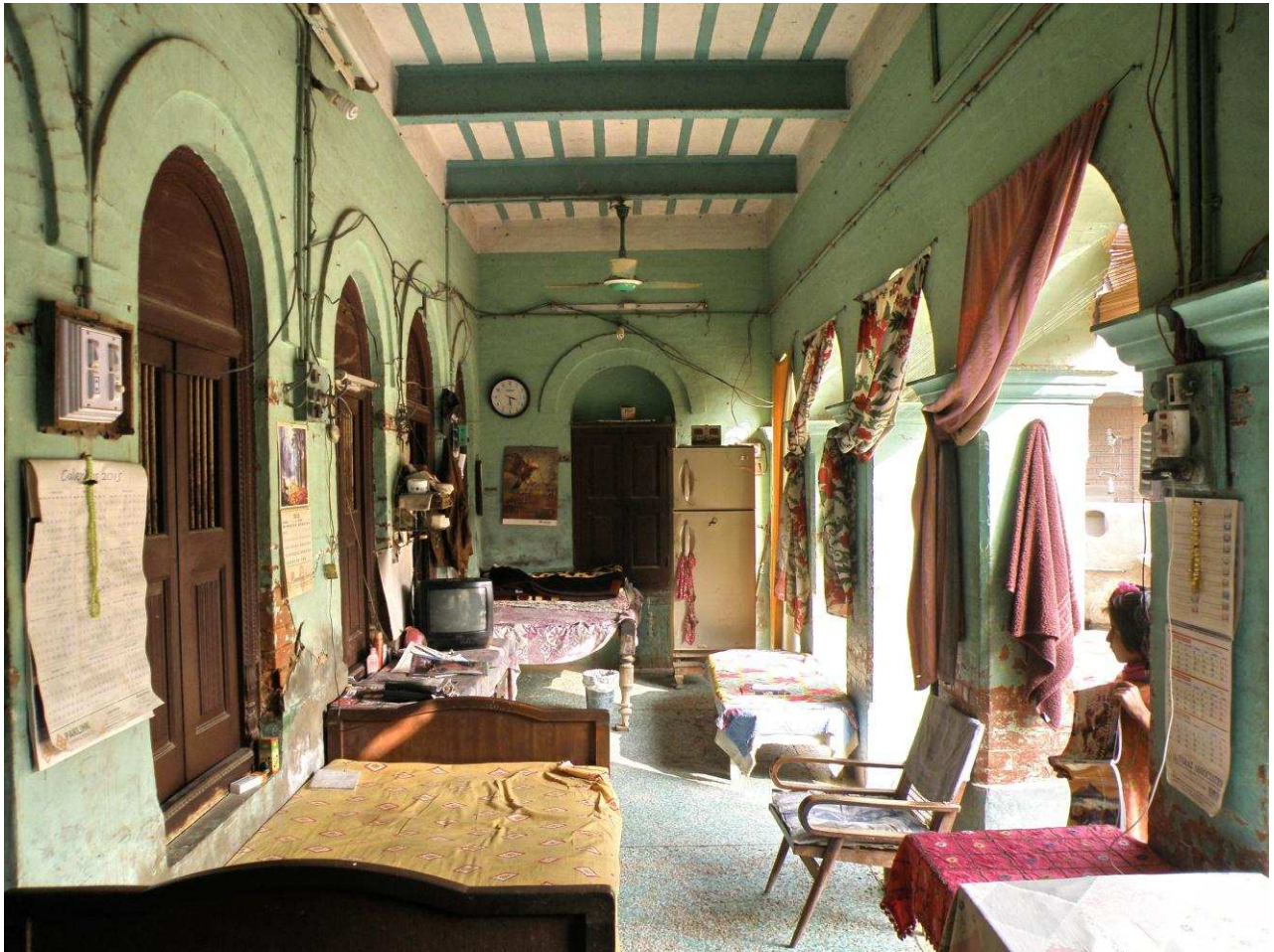


Ceiling of a room - combination of original and new roof.

Architectural Analysis:

UC2 / 222

The construction style followed in this part of the property, situated on a sandwich plot is also quite atypical in layout, having an elevated courtyard on the first floor level. Façade facing Kotu Tabib Lane has the main entrance of stairs leading up to the courtyard level. This door has intricate carvings on its frame. The ground floor of is entirely built upon; with a guest room called *autaq* in local language occupying 416 sq.ft. and accessed directly from the street through a separate door. The walls of this *autaq* space are cemented and show signs of severe rising damp issue. Rest of the space is used as storage or shops as evident from the presence of shutters on Dallal's Lane Street. Not all of the spaces on ground floor are presently accessible and even the owner's have little information about these spaces.



View of the verandah overlooking the open-to-sky courtyard

The actual residence is on first floor having approximately 1800 sq.ft. of open-to-sky courtyard in front of the built structure. The impressive courtyard facing façade consists of an arcaded verandah with six arched openings on and height of about 12'. Above this level is the projected upper floor supported on beautifully carved timber brackets having a range of varying iconographic motifs. The external surface of this upper level is finished with stucco plaster forming multiple lines of molding detail around the six beautifully designed windows. Regrettably half of this stucco work is now removed, and replaced with poor quality re-plastering repairs. This upper floor has 3' projecting *chajja* running along the entire length of the front facade, supported on timber brackets of simpler detail. This *chajja* projection made of intricate timber details is also intact only up to half way of the building, rest of it collapsed a couple of years back as informed by the owner. The edges of remaining *chajja* projection still have some fragments of the intricate timber pelmets as evidence of the artistic craftsmanship.

The plan of the building is quite simple and typical of traditional residences. The arcaded verandah at courtyard level leads to a 30'x14'wide double heighted hall, which further opens into two rooms. At the time of survey these inner rooms were not accessible therefore no comments can be made on the present condition of these spaces. The floor above has a big hall just above the verandah, having six arched windows on the outside face, having three different design details and four windows on the inner side wall of the hall. The hall is accessed via a mezzanine loft-like space connecting the two floor levels. Double height of the central hall below allows the inner side windows of this upper hall to overlook into it. The hall with double height behaves as a breathing space and is the most used space in the entire house. The interiors of this house have multiple decorative elements that instantly catch one's eyes; including brilliantly made lamp niches in the walls,

decorative moldings running along edges niches and remarkable woodwork details. The tympanum area, frames and panels of doors are all carved with a variety of patterns; mostly using floral or geometric motifs. There runs a 4" band around the arched part of the openings. The balustrade along mezzanine floor has beautifully patterned wrought iron grills. Walls of the internal spaces have wooden cabinets installed in arched niches. The door panes of the cabinets are ornamented with glass and other embellishments.

A variety of flooring patterns are observed in different rooms of the building. There is simple terrazzo flooring in verandah in blue color with 1' wide border of beige color whereas the internal hall has honeycomb floor pattern in terracotta tile. One part of the flooring along northern wall has simple rectangular brick floor without any pattern. A timber staircase connects the lower floor with the upper floor. The steps have a 1"x1" timber nosing; a typical staircase detail frequently observed in historic buildings of Shikarpoor. The third and topmost floor has two simple rooms at the back side, which seem to have remained abandoned since quite some time, as evident from significant deposits of dust layers. The door and window opening are without shutters. The level above those rooms has small headroom and an open terrace making it 49' higher than the ground level.

Both the interiors as well exteriors of the building contain a number of significant architectural details; mostly having functional value as well but sometimes these could be only for aesthetic reasons. Among the most prominent architectural features of interiors are the arcaded portico/ verandah, carved timber doors and windows, decorative lamp niches and wooden cupboards fixed in wall niches. The exterior façade is adorned with exquisite details including arches, carved timber brackets, carved wooden doors and windows, timber pelmet bands, and ornamented ceiling with *qab-sazi* work.

Due to the small family size of resident family members (only husband and wife) presently only ground floor is in partially use, with few empty rooms. Rest of the building floors are left completely vacant. A reason for leaving most parts of the building unused could be because its presently precarious state of conservative discussed in later part of this report.



Carved timber brackets supporting upper floor cantilever (left). Courtyard facing façade (right).



Brick masonry construction having timber reinforcements.



View of courtyard from second floor

In general the construction of entire property is done by using 1'-6" wide load bearing walls built of brick or mud brick, and occasionally reinforced with timber logs. The thick walls are plastered with mud and lime plaster. Often the plaster is added with straw for gaining more strength. The vertical surfaces are painted in different colors both in interior and exterior. Iron girders are used as the primary roofing system. Commonly used building materials include wood, brick for masonry, mud/ lime plaster for rendering of walls, colored and textured glass in window panes, iron girders and tiers for roofing and wrought iron grills for balustrades/ parapets.

State of Conservation - Damage Analysis:

The Safdar Awan residence is presently not in a well preserved state showing signs of high degree deterioration and even structural problems that must be addressed on an urgent basis. The first and most apparent cause of continuing decay in the building is a lack of regular maintenance. Over the passage of time, the building has undergone several alterations and extensions; some of which lack sensitivity to the original materials layout of the building and have negative impacts on its original fabric. A number of damages found in the building are critically analyzed to identify their possible root causes.

The problem of **rising damp** is observed to be severe on ground floor walls of UC2- 222 showing moisture penetration up to a height of over 5' to 6'. There problem is so severe that even efflorescence is observed on the walls. Thick layers of repair cement plaster applied on walls as a remedy, is perhaps the reason for the increasing level of water penetration.



Damage caused by rising dampness.

The first floor of building has deep cracks on its northern wall in the double heighted room. The crack goes through the depth of the wall and visible on the other side as well. The diagonal pattern of this crack indicates some sort of settlement at foundation. Proper monitoring of this must be done and remedial measures need to be taken on an urgent basis to prevent any structural collapse.



Images showing cracks in different areas of the property at various floor levels.



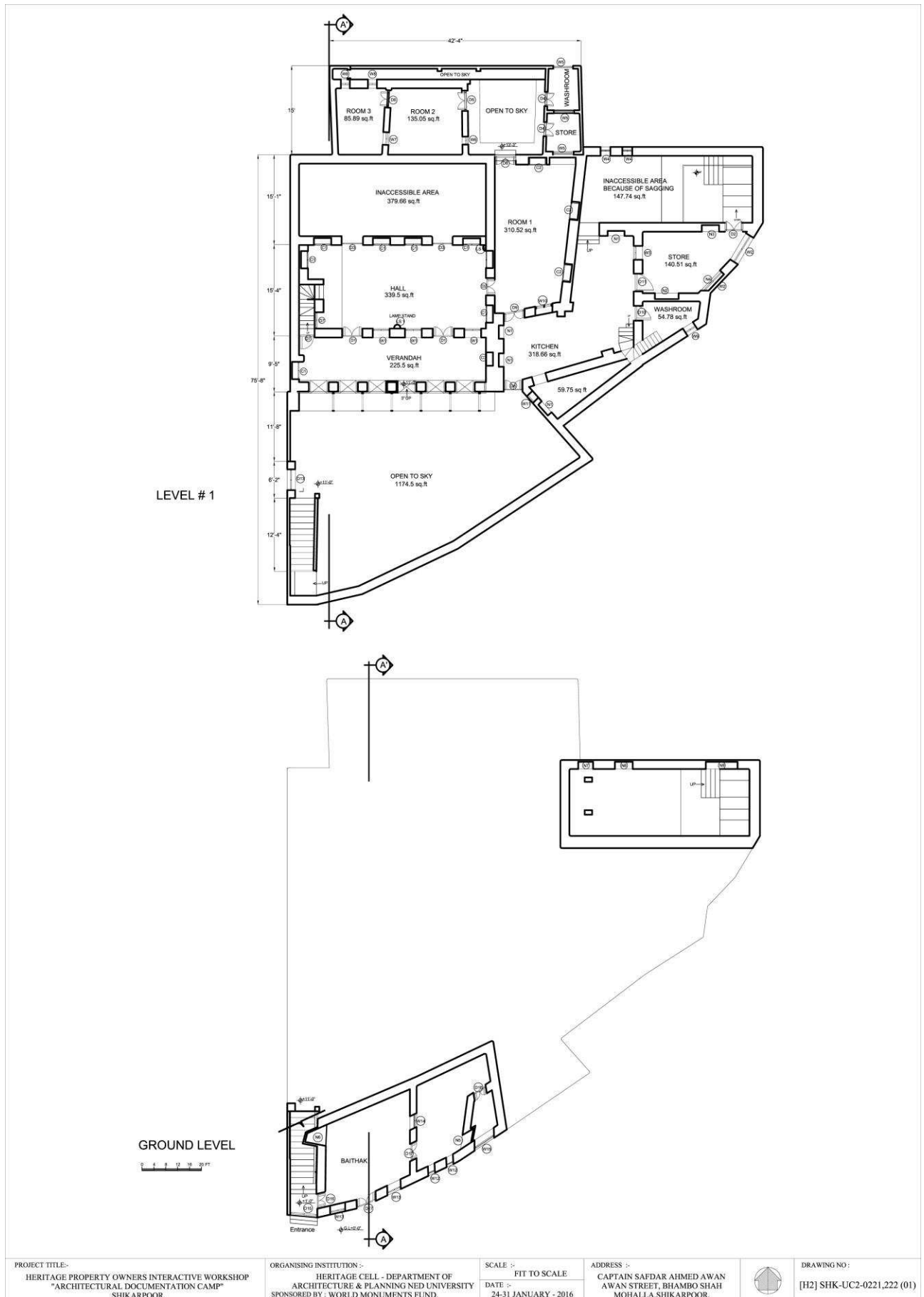
Images showing water coming from windows/ ventilators

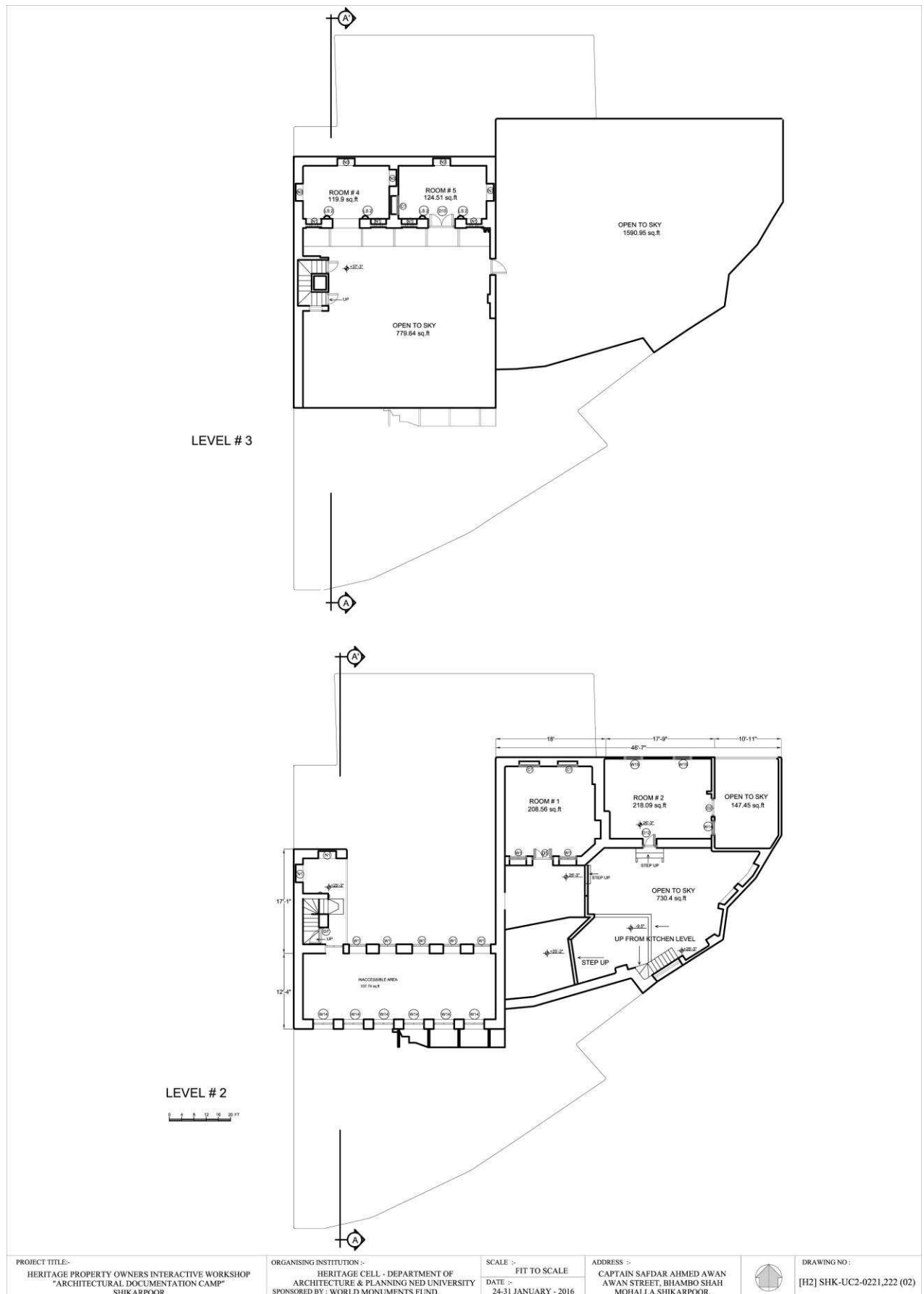
Rain water penetration inside the building from different door/ window openings as well as the roof is indicated by water stains on the walls. Many ventilators/ windows the building do not have shutters thus rain water washes down the sill damaging the painted wall surfaces as well as the plaster.

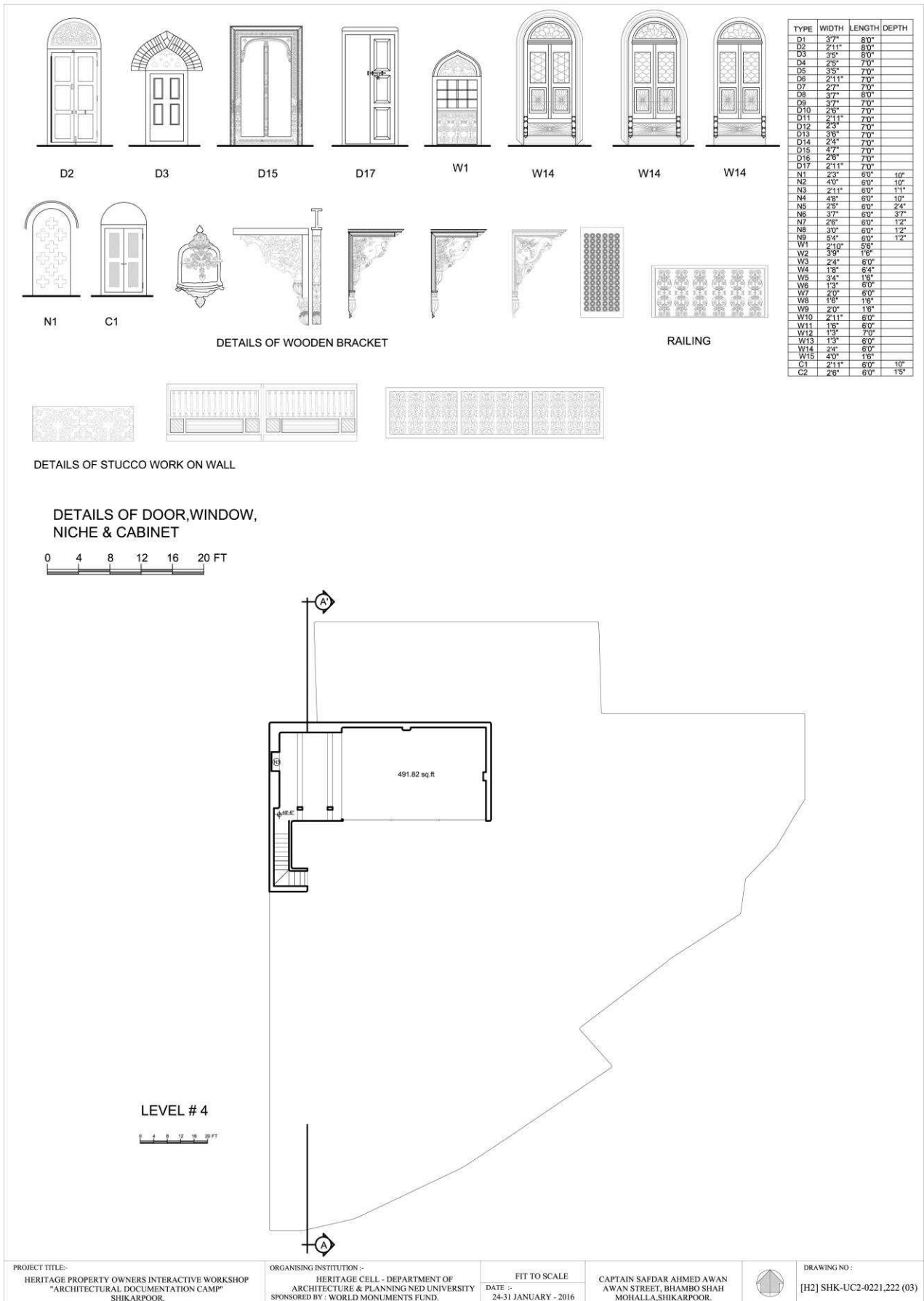
The weakened roof structure and apparent settlements in the buildings foundation has caused opening of the junction between two walls at one location. The overall condition in different sections of this property reflect a high state of deterioration requiring urgent and immediate action to first prevent further damage and then proceed to remedial measures that attempt to eliminate the root causes of ongoing deterioration. Only after these root causes are completely eliminated a proper restoration of the property should be undertaken.

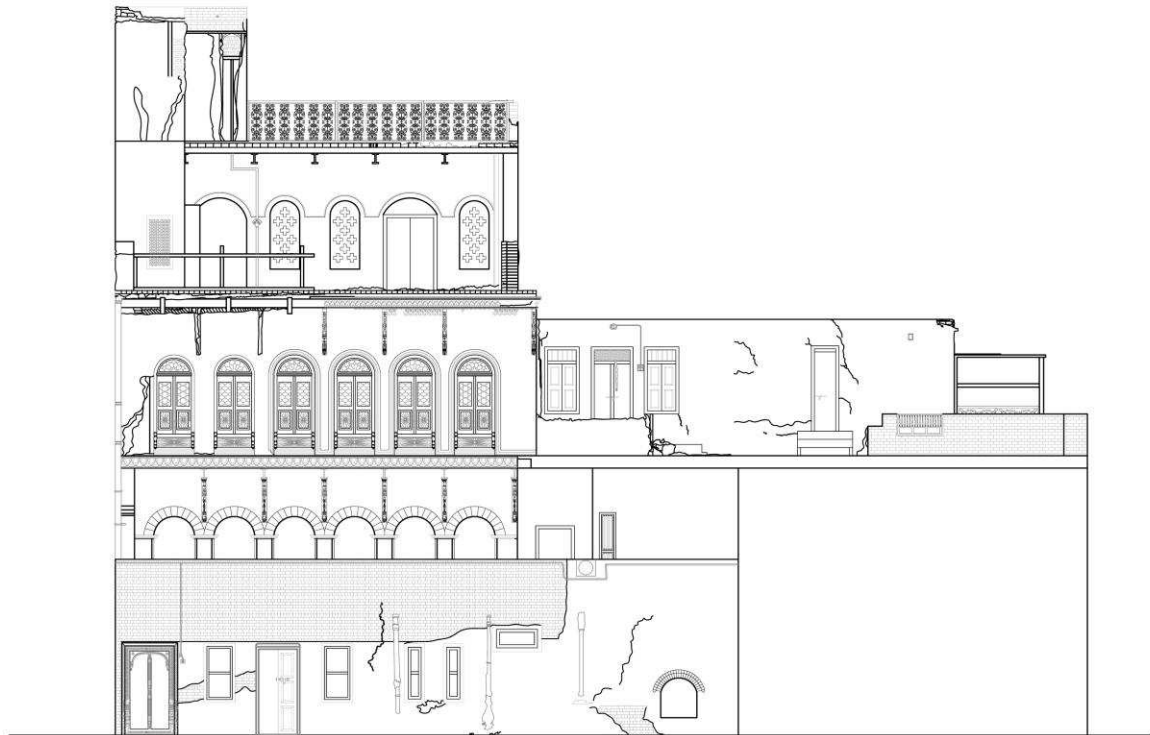


Detached masonry wall causing a deep vertical opening.

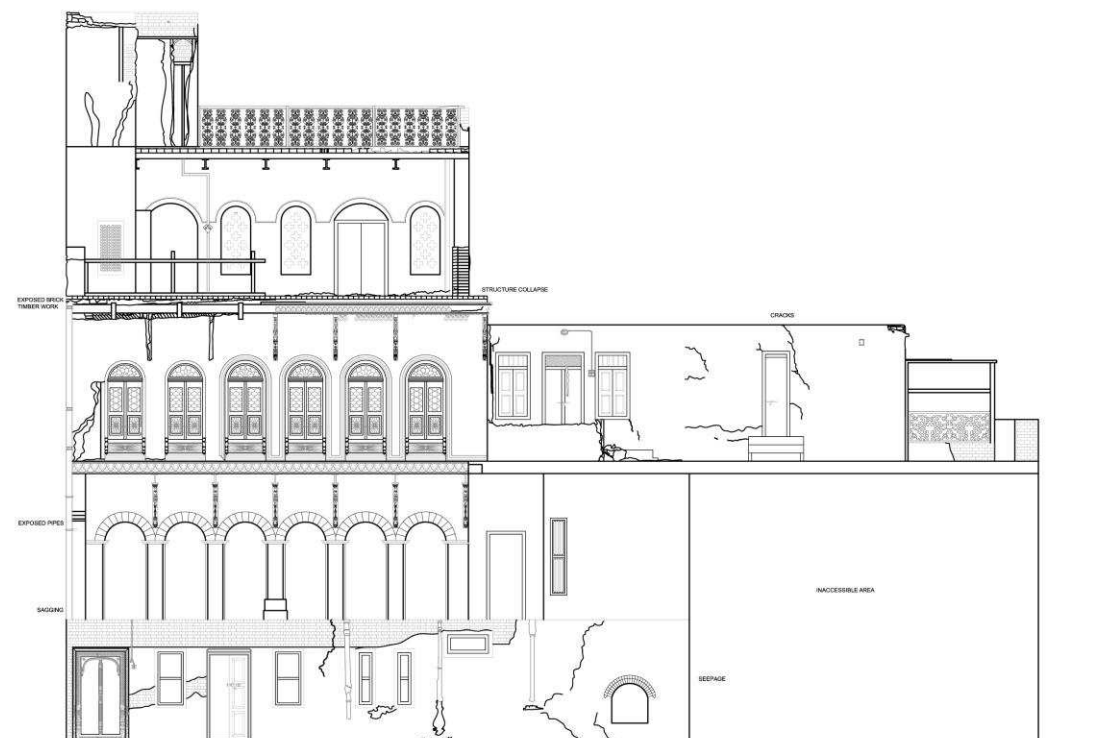








FRONT ELEVATION WITH BOUNDARY WALL



FRONT ELEVATION WITHOUT BOUNDARY WALL

PROJECT TITLE:-
HERITAGE PROPERTY OWNERS INTERACTIVE WORKSHOP
"ARCHITECTURAL DOCUMENTATION CAMP"
SHIKARPOOR.

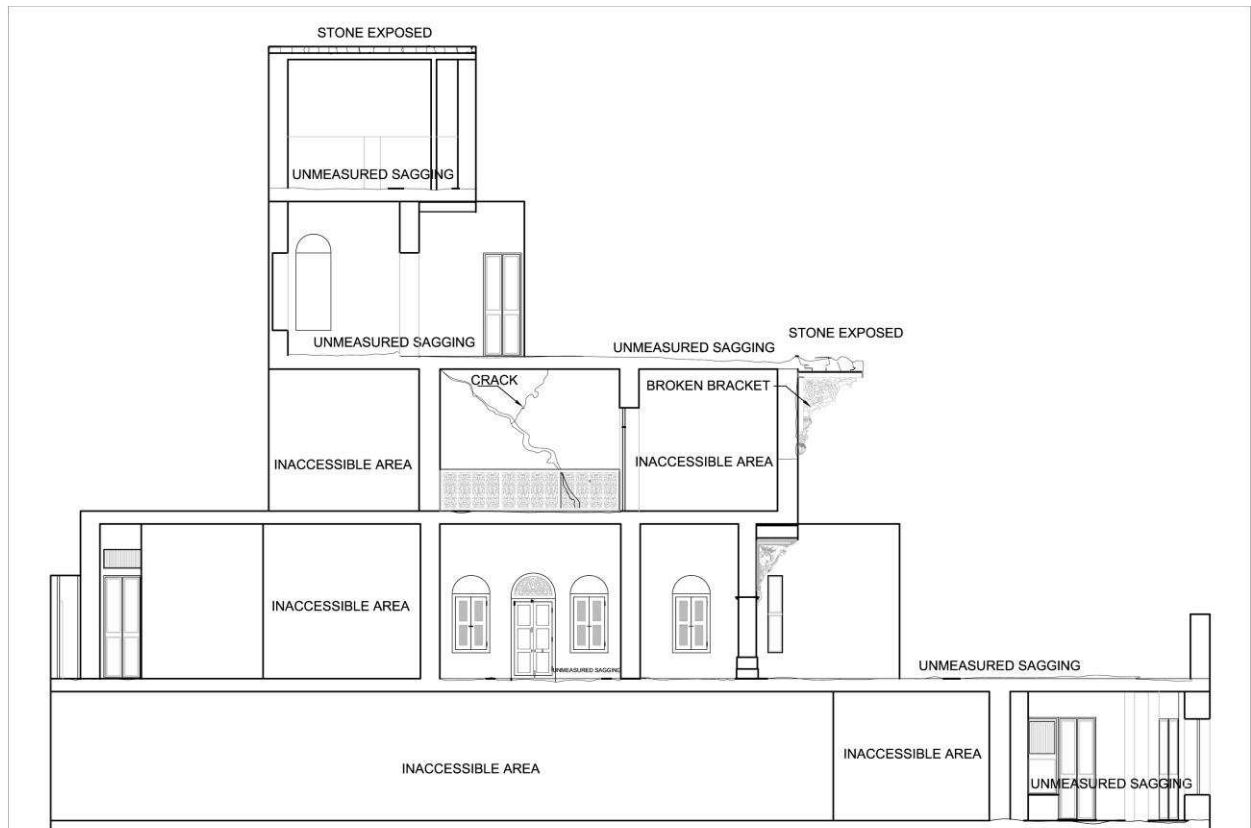
ORGANISING INSTITUTION:-
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ARCHITECTURE & PLANNING NED UNIVERSITY
SPONSORED BY : WORLD MONUMENTS FUND.

SCALE :-
FIT TO SCALE
DATE :-
24-31 JANUARY - 2016

ADDRESS :-
CAPTAIN SAFDAR AHMED AWAN
AWAN STREET, BHAMBO SHAH
MOHALLA, SHIKARPOOR.



DRAWING NO :-
[H2] SHK-UC2-0221,222 (04)



SECTION A'A"



REAR ELEVATION

0 4 8 12 16 20 FT

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