

Residence No. **3**

Haji Sher Mohammad Tibati Haveli
SHK-UC2-0461 (Enlistment No. 2012-UC2/465)

20/ 189, 190 Off Daiki Lane No. 2
UC2, Shikarpoor, Sindh.

Reporting by:
Ar. Tania A. Soomro

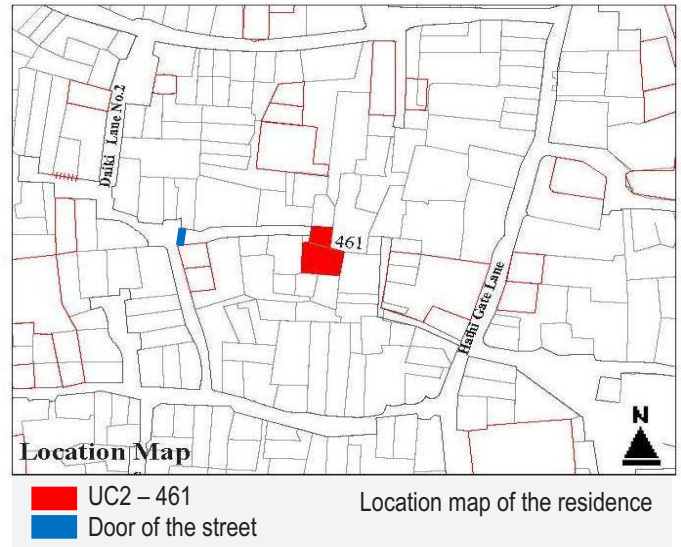
Documentation & Drawings by:
Areeba Hasan
Tashfeen Shuneed
Ahmed Riaz

Owner's Contact Details:
Mr. Atiq ur Rehman

Email: mujeebrehman101@yahoo.com

Introduction to the Property:

Tibati *Haveli* is a G+1 storey structure included in the heritage inventory of Shikarpoor, notified and protected under the Sindh Cultural Heritage Preservation Act 1994; bearing enlistment number 2012-UC2/465 in the records of Department of Culture, Government of Sindh. The location of Tibati *Haveli* is very interesting; as it is a sandwich plot from all sides having both of its accesses through dead-end streets. The building cannot be seen from Daiki Lane No:2 except for the one room on first floor with its balcony. Entrance into the narrow lane providing access to the building is restricted with provision of a door as one approaches from Daiki Lane No:2 (shown the figure of location map). This serves as an effective way of discouraging public access into the street and facilitating only the residents in that lane; creating a secure neighborhood ambience within the space. The building has another access from secondary entrance at the back side which leads into Hathi Gate lane.



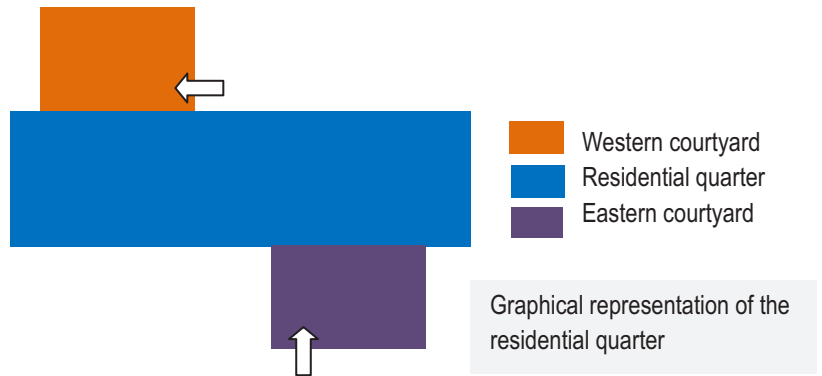
The building is owned by Mr. Atiq-ur-Rehman, according to whom the building originally belonged to a Hindu merchant family. He got possession of this property around forty years back. He further revealed that originally the building used to be G+2 but regrettably when it was handed over to him, the second floor was not in a stable condition therefore it was pulled down as a safety precaution. The present owner describes this removed floor as the most ornamented part of the house. At present there are certain traces that provide evidence of its existence in form of masonry marks on top of the building. Presently the first floor of the building is also in unstable condition, hence not used by the inhabitants.

The exact date of construction for this *haveli* is not known however, as a pre-Partition construction it is estimated to be over 70-80 years old. The building has an impressive variety of intricate architectural details representing a high quality of craftsmanship in building constructed practiced at that time. Each and every space has its own essence in terms of decorations and details; most of it in a good state of conservation specially the woodwork with colored glass used in door/ window panels.



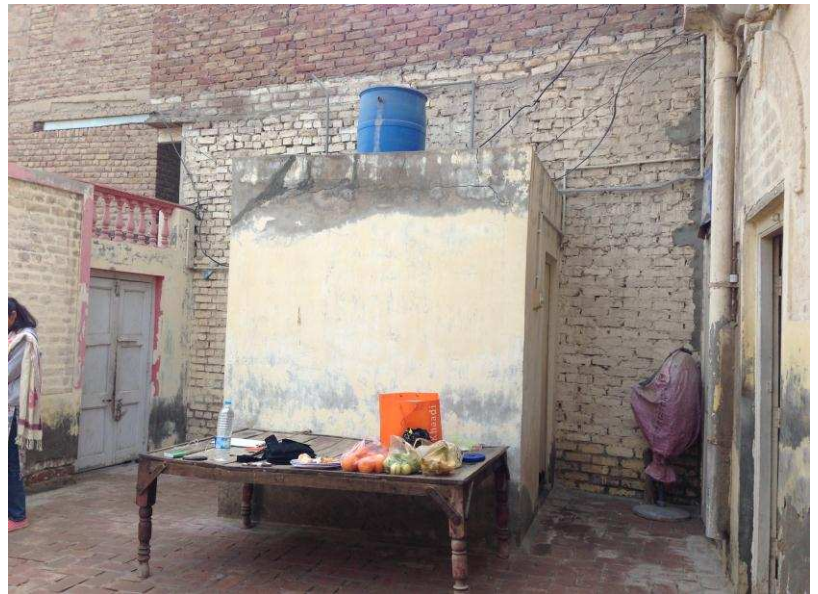
Fig: 17 – Images showing the courtyard on west side of the building, facing front façade of the building

The building has two façades facing two separate courtyards. The west side courtyard is more actively used by residents for household activities probably because of the reason that the main entrance of the building is from that side. Services such as the kitchen and the toilet block are located in this courtyard. The back façade of the building on eastern side opens on to a smaller, rectangular shaped courtyard. This part of the house is not much used by the inhabitants of the house, except for by tuition students coming late in the afternoon. There is a small toilet added in the courtyard, rest of the space is an open to sky.



Architectural Analysis:

Tibati Haveli built on multiple plots number 189, 190 Off Daiki Lane No.2 has a unique plan typology. The covered area this irregular plot is organized in a way that the residential quarter is set as a rectangular form in the middle flanked with two courtyards on either side allowing access into the building from both sides.



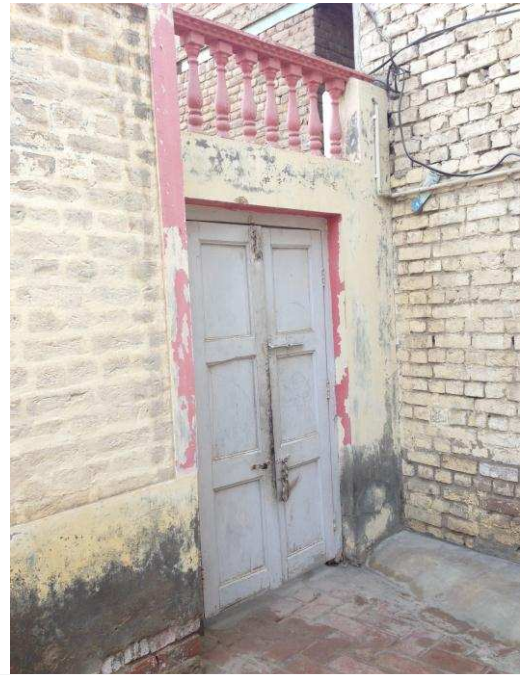
Built in exposed brick masonry the rear façade has a completely different architectural vocabulary from what is followed in the west facing façade. The first floor of west façade is rendered with stucco ornamentation having floral motifs and cornices. Even the brackets supporting projected roof are finished in the same manner. The slightly projected balcony has a parapet made of wrought iron grills mounted on wooden frame.



East side courtyard (above). Rear façade of building facing east (below)

The most significant feature of this west façade is use of colored glass in doors and window panes. The wooden panels are decorated with colored glass which has metal ornamentation over it. Above the doors and windows are placed centrally pivoted ventilators again with colored glass panels. Above ventilator is set another ventilator in a diamond shape with a metal net. The surviving wooden projection of the roof has couple of remaining wooden pelmets, providing evidence of their original design. Part of first floor collapsed couple of years back.

On the ground floor each room is designed differently. The spaces created are simple yet decorated with distinctive elements. All the rooms are designed on a pattern of 'room inside a room' therefore all the internal spaces are interconnected. As the building originally belonged to a Hindu merchant hence there is a small room built on eastern side of the building, probably as a temple. According to the owner it is believed to have treasures buried under that room. The interior spaces have a variety of flooring patterns, using terracotta tile flooring or pigmented cement tiles forming rich geometric patterns using vibrant colors. Mostly these designs are inspired by floral and geometric patterns.

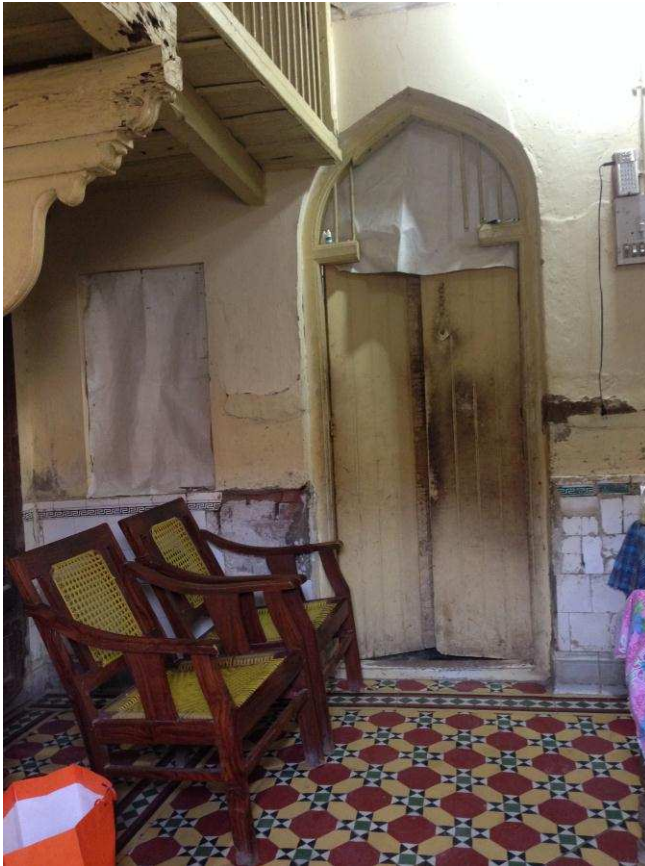


View of property from western side (left). Back side entrance from east side courtyard (right).

A wooden staircase with timber nosing of 1"x1" leads to first floor. The staircase opens at a mid level mezzanine supported by brackets. The wrought iron grill parapet has a design of floral patterns. This mid level is not in a stable state and needs urgent repairs. The first floor room is simple in design but has rich in surface decorations. The main hall that connects the rooms has a distinct form of flooring with borders and a big oval shaped motif in the center. The same hall has an open drainage gutter line running close to the edges of the walls. The walls of rooms on first floor are embellished with painted borders done in multi colored floral patterns. Each of the room has a different flooring pattern mainly done in pigmented cc tiles. Due to the small size of household and presently instable structural condition of first floor it is not much used by the inhabitants, evident from accumulated layers of dust depositions all over the walls and floors surfaces.



Interior views of the first floor room with a small balconnette



Flooring using geometric patterned pigmented c.c. tiles (left). Glazed tile dados (right).

A number of prominent architectural features adorn the interiors of this *haveli* including carved wooden doors and windows, colored glass panes in door/ window panels, wooden wall cabinets, decorative flooring using pigmented cc tiles, use of glazed tiles for dados and wrought iron grills for parapets and balustrades. The exterior façades are also embellished with brick masonry, carved wooden brackets, wooden doors and windows, timber pelmet bands and stucco ornamentation. The construction technique is common as in other properties using load bearing brick masonry, with timber reinforcements.

State of Conservation - Damage Analysis:

The most evident damage to the building is due to the rising dampness. Almost every room on ground floor has moisture stains and damage due to this issue. The moisture retention in walls has caused paint layer to peel off. This issue further leads to other damages such as the loss of bonding between the wall surfaces and plaster layer. Cracks have developed not only on the walls but also on fixed furnishings such as inbuilt cupboards. Rain water penetration from faulty roof joints is also observed causing further acceleration of issues such as detachment of plaster, peeling of paint layers and sagging of floors and roofs. Water seepage has weakened masonry joints in places causing bulging or detachment of walls.



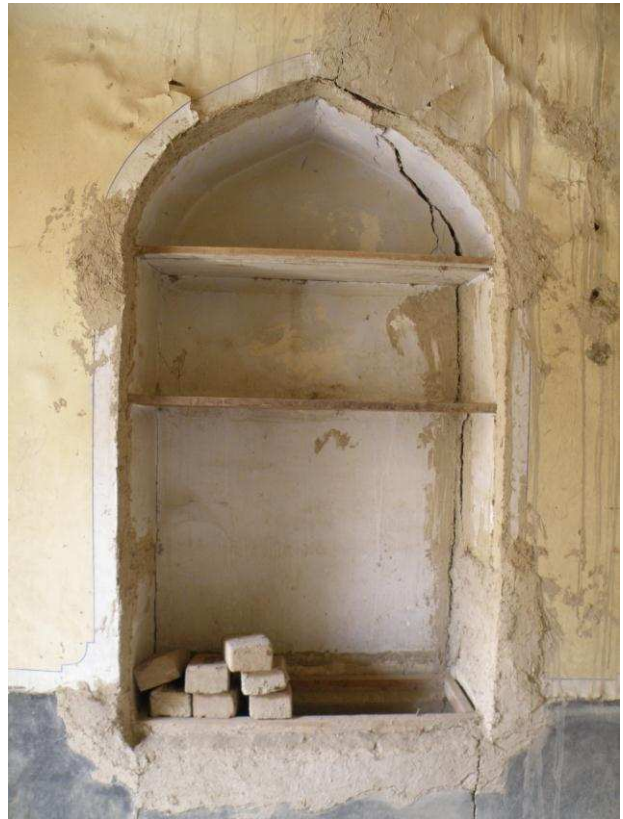
Visible signs of rising dampness on ground floor walls



Detachment of plaster and loss of bonding between wall and plaster



Sagging of ceiling and floor due to broken beams and timber planks.



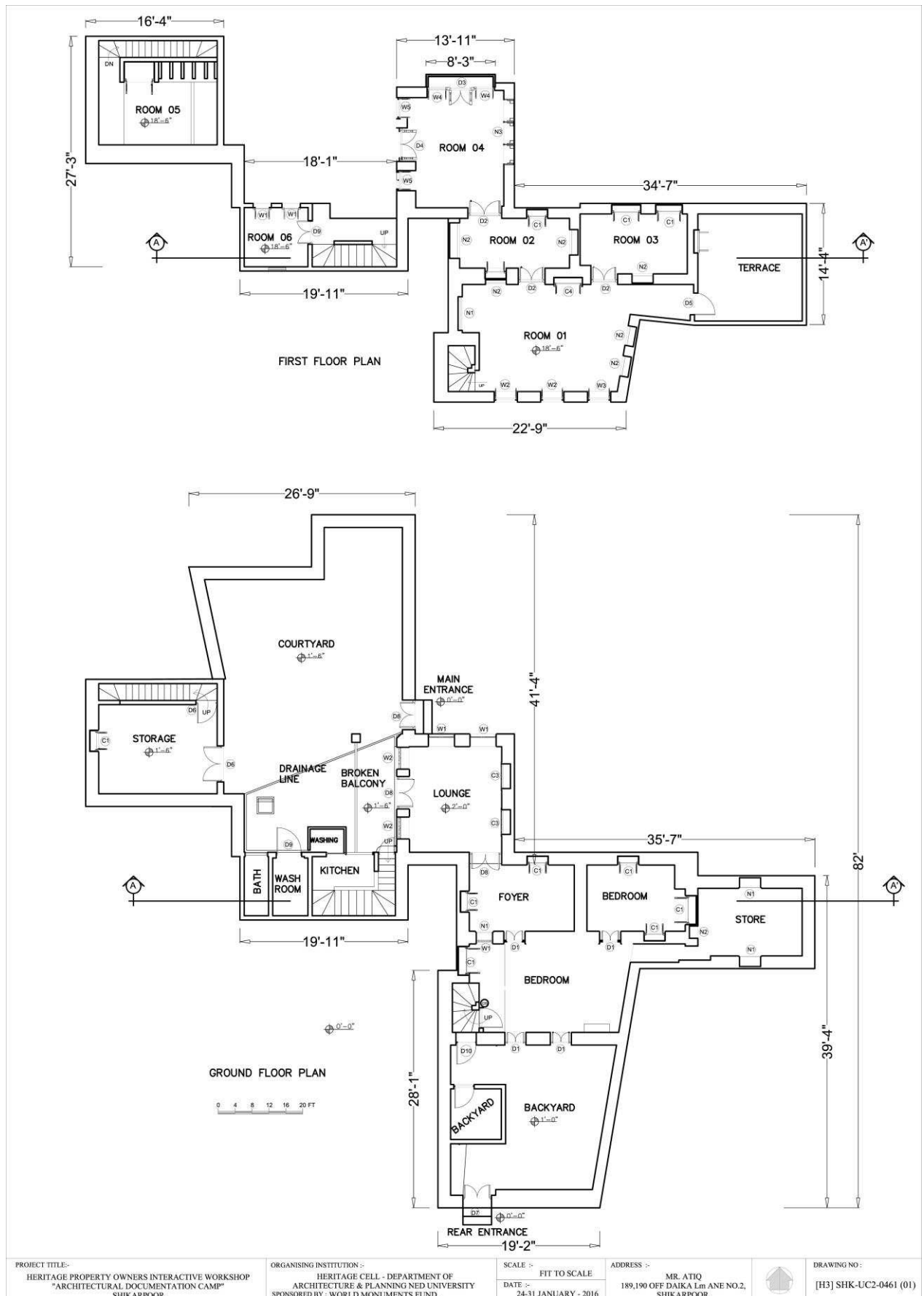
Various images showing cracks in walls and plaster.

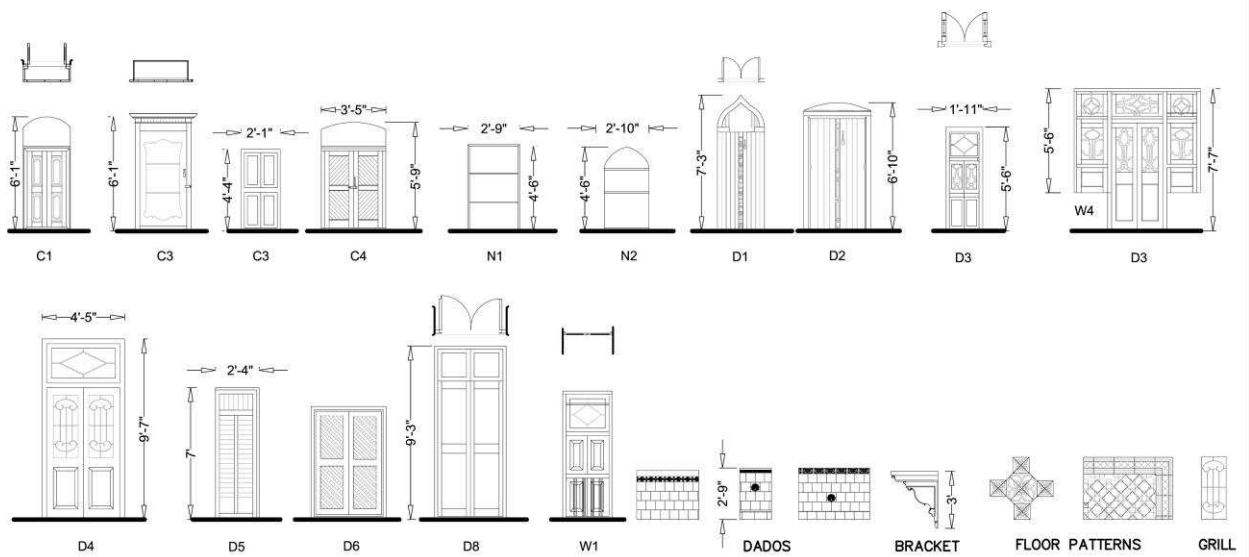


Rain water penetration from roof is evident from dripping water stains on the walls



Disintegrating and broken architectural elements.





DETAILS OF DOOR, WINDOW,
NICHE & CABINET

0 4 8 12 16 20 FT

ROOF PLAN

0 4 8 12 16 20 FT

PROJECT TITLE:-
HERITAGE PROPERTY OWNERS INTERACTIVE WORKSHOP
"ARCHITECTURAL DOCUMENTATION CAMP"
SHIKARPOOR.

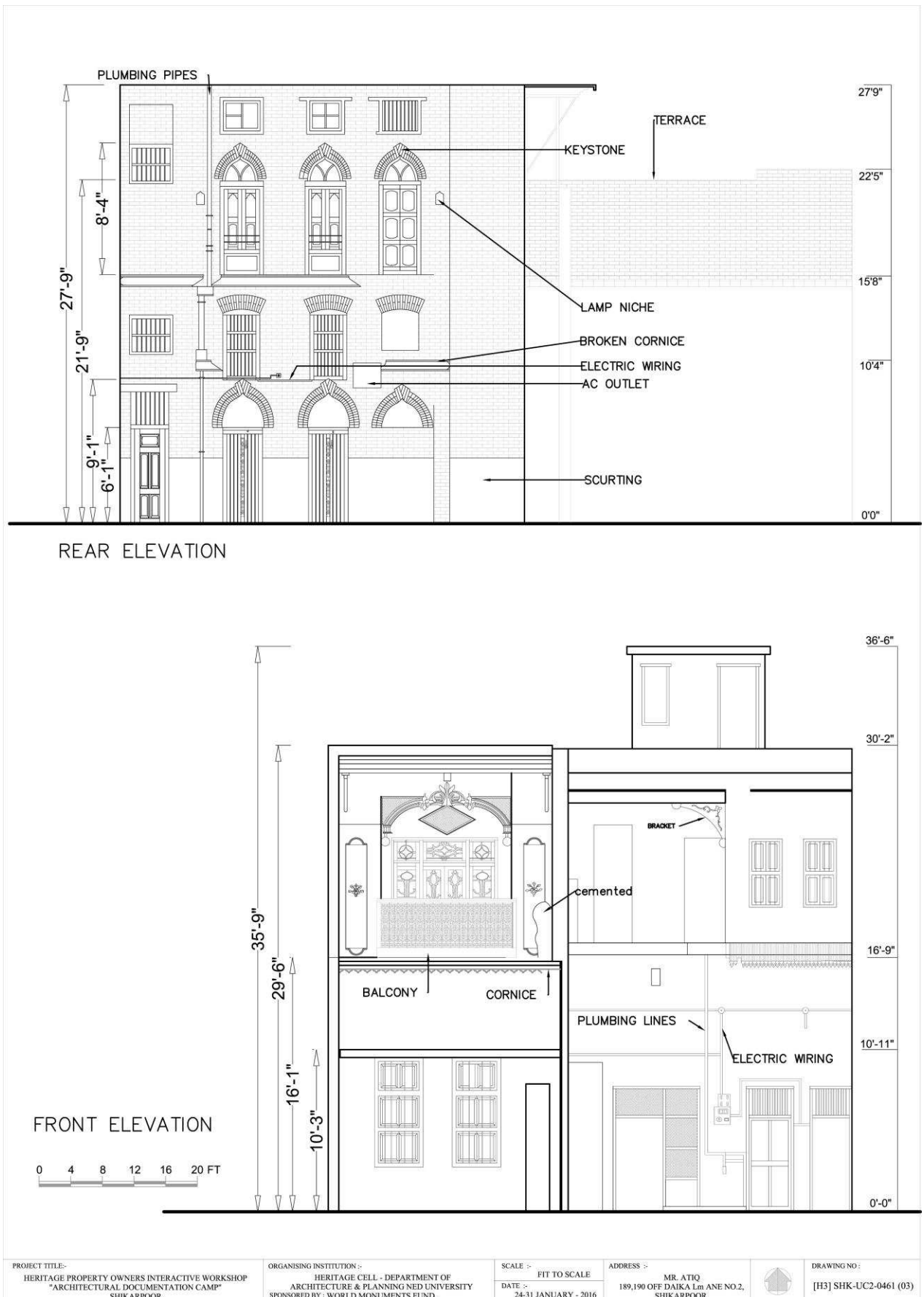
ORGANISING INSTITUTION:-
HERITAGE CELL - DEPARTMENT OF
ARCHITECTURE & PLANNING NED UNIVERSITY
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SCALE > FIT TO SCALE
DATE > 24-31 JANUARY - 2016

ADDRESS > MR. ATIQ
189,190 OFF DAIKA Lm ANE NO.2,
SHIKARPOOR.

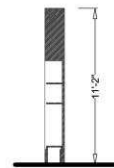


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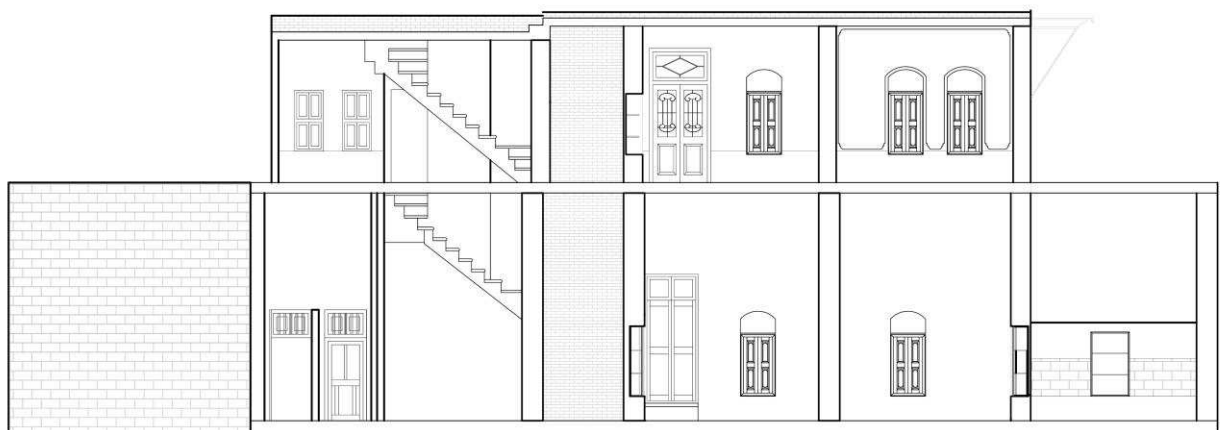




SECTION BB'



SECTION OF CUPBOARD



SECTION AA'

0 4 8 12 16 20 FT

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